



15 Cusance Way

Hilperton Trowbridge BA14 7HZ

A very well presented and updated three bedroom semi-detached family home within the popular Paxcroft Mead development close to parkland walks, beautiful Green Lane woods, shops and two well regarded primary schools. Accommodation comprises entrance hall, refitted cloakroom, living room, refitted kitchen/dining room, newly fitted en suite shower room (to be finished) and refitted family bathroom. Benefits include UPVC double glazing, gas central heating, good sized enclosed south-east facing rear garden, garage partitioned to provide storage, office and utility; and tandem driveway providing off road parking. Early viewing highly recommended. Vendor suited.

Offers Over £285,000



ACCOMMODATION

All measurements are approximate

Entrance Hall

Obscured double glazed composite door to the front. Radiator. Stairs to the first floor. Wood effect flooring. Smoke alarm. Panelled doors off and into:

Refitted Cloakroom

Obscured UPVC double glazed window to the front. Radiator. Modern two piece white suite with part tiled surrounds comprising wash hand basin with cupboard under and w/c with dual push flush. Wood effect flooring. Fuse box.

Living Room

13'2" x 12'8" (4.02 x 3.85)
UPVC double glazed window to the front. Radiator. Television and telephone points. Coving. Glazed double doors to the:

Refitted Kitchen/Dining Room

16'4" x 9'1" (4.98 x 2.76)
UPVC double glazed window and French doors to the rear. Radiator. Range of modern high gloss wall, base and drawer units with tiled splash-backs and marble effect rolled top work surfaces. Breakfast bar. Stainless steel one and a half bowl sink drainer unit with mixer tap. Built-in high level stainless steel electric double oven. Built-in stainless steel five-ring gas hob with extractor hood over. Plumbing for dishwasher. Space for fridge/freezer. Space for table. Panelled door to under-stairs storage cupboard. Tiled flooring and inset ceiling spotlights. Smoke alarm. Cupboard housing Baxi combi boiler.

FIRST FLOOR

Landing

Smoke alarm. Access to loft space. Balustrade. Panelled doors off and into: airing cupboard with shelving.

Bedroom One

13'7" x 9'10" (4.15 x 3.00)
UPVC double glazed window to the front. Radiator. Television point. Panelled door to the:

Newly Fitted En Suite Shower Room

Obscured UPVC double glazed window to the front. Over-stairs storage cupboard. Full details to be confirmed.

Bedroom Two

12'8" x 9' max (3.86 x 2.75 max)
UPVC double glazed window to the rear. Radiator. Dado rail.

Bedroom Three

11'2" x 9' (3.40 x 2.75)
UPVC double glazed window to the front. Radiator.

Refitted Family Bathroom

Obscured UPVC double glazed window to the rear. Chrome towel radiator. Modern three piece white suite with part tiled surrounds, comprising shower end panelled bath with rain-fall shower over, additional shower attachment and glass screen enclosing, wash hand basin with cupboard under and w/c with dual push flush. Tiled flooring. Extractor fan.

EXTERNALLY

To The Front

Area laid to lawn and gravel border with conifers. Path to the front door. Tandem driveway providing off road parking for up to 2 vehicles. Gas and electric meters.

To The Rear

Good sized enclosed south-east facing garden comprising block paved patio area to the immediate rear with picket fence enclosing, gate and step down to area laid to lawn with raised beds with plants and shrubs; steps down to area laid to bark chippings with tree and shed. Outside tap. All enclosed by fencing.

PARTITIONED GARAGE

Utility Area

8'4" x 5'1" (2.53 x 1.56)
Obscured UPVC double glazed door to the rear. Plumbing for washing machine. Space for dryer. Panelled door to the:

Office Area

8'4" x 6'8" (2.53 x 2.02)
Vinyl flooring. Power and lighting. Panelled door to the:

Storage Area

8'4" x 4'9" (2.53 x 1.45)
Up and over door to the front.



Tenure **Freehold**
Council Tax Band **D**
EPC Rating **C**



Ground Floor
Approx. 50.7 sq. metres (546.2 sq. feet)



First Floor
Approx. 48.2 sq. metres (518.6 sq. feet)

Total area: approx. 98.9 sq. metres (1064.8 sq. feet)

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Agents Note: Whilst every care has been taken to prepare these particulars, they are for guidance purposes only. All measurements are approximate and for general guidance purposes only and whilst every care has been taken to ensure accuracy, they should not be relied upon and potential buyers/tenants are advised to recheck the measurements.

